

SMC
Brownill
Vickers

For Sale



Restaurant / Residential Freehold Investment
located within a busy area of East London

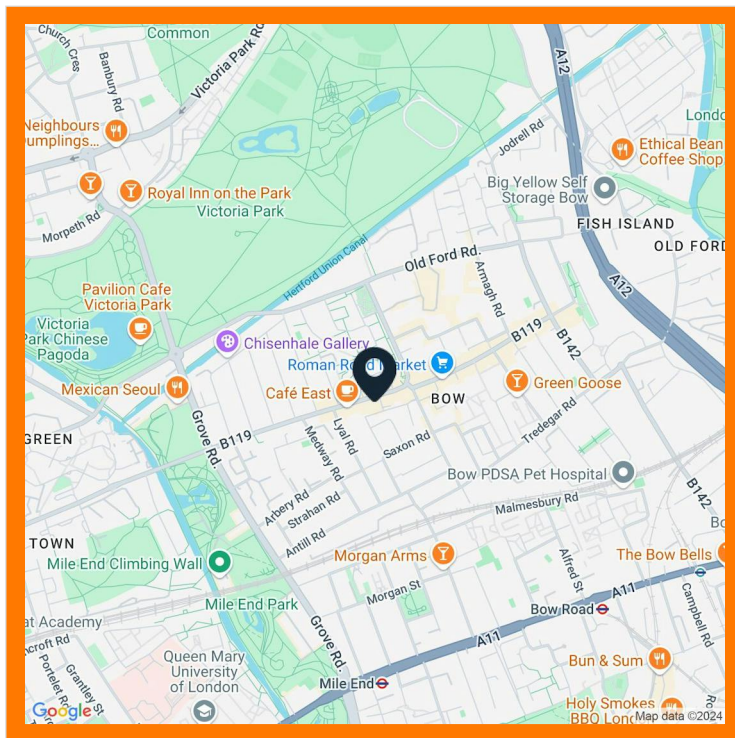
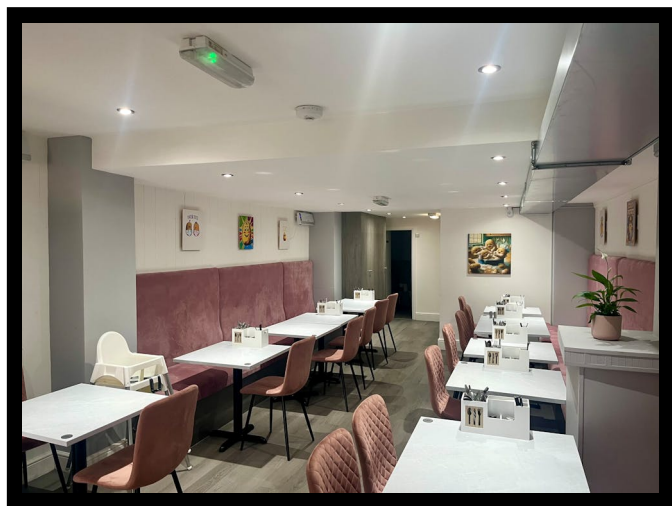
£725,000

464-464a Roman Road, Bow, E3 5LU

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smcbrownillvickers.com

- Located in Bow, East London, and close to the traditional street markets at Roman Road Market and Victoria Park
- Current income of £51,600 pa
- GF let to individual t/a 'Spuddies' at £21,000 pa. Upper floor 3 bed flat let to an individual at £2,550pcm (£30,600pa)
- Within a high density area with excellent links to The City and across Greater London
- May have asset management potential (STP)



Description

The property is a three storey mid terrace property of brick construction, comprising of a ground floor commercial unit and separate upper floor 3 bed flat. The shop and flat are separately occupied and self contained.

To the ground floor is a cafe/ restaurant (approximately 30 covers), which includes a sales / seating area, kitchen, and WC facilities.

The flat is accessed from the front door at street level, entering to a hallway and staircase to the first floor level. At first floor level there is front bedroom (with attached bathroom (shower, WC and wash basin)), bathroom (WC, wash basin and shower), middle bedroom and rear bedroom. To the second floor is a kitchen / lounge area. The flat is appointed to a good standard and includes spot lights, laminate flooring, radiators, warmhouse boiler, double glazed windows, roof lights, decorated surfaces, etc.

There is a rear outdoor / garden area to the first floor level.

Location

The property is located on Roman Road in the Bow area of East London, and within the Tower Hamlets London Borough. The location is a well established and busy retailing area very close to the Roman Road Market entrance. Roman Road hosts a variety of independent traders.

The property is within walking distance of Mile End tube station, Bow Road tube station, Bethnal Green tube station and Victoria Park. There is a wide mix of retailers, restaurants and bars in the locality, with the surrounding area predominately residential flats and houses located off Roman Road. The property benefits from good access into the City of London via tube, bus, cycle routes and by foot.

Accommodation

The accommodation comprises the following areas:

Name	sq ft	sq m
Ground - Restaurant / Retail	822	76.37
1st - Front bedroom (with bathroom)	115	10.68
1st - Middle bedroom	90	8.36
1st - Rear bedroom	98	9.10
2nd - Kitchen / Lounge	224	20.81
Total	1,349	125.32

Tenure

The property is held on a Long Leasehold and Freehold basis (a buyer may decide to merge interests (subject to legal advice)).

Freehold - Title Number: LN125910

Long Leasehold - Title Number: EGL532692

Tenancy Details

The ground floor at 464 Roman Road is let on an informal agreement at £21,000 pa. The tenant is willing to agree a new 15 year lease within the Landlord & Tenant 1954 Act.

The three bed upper floor flat at 464a Roman Road, Bow is let on the basis of a AST to a private individual holding over at £2,550pcm.

Further details are available by request.

Asset Management Potential

We are of the opinion that given the demand of the local residential letting market, the residential rent should have some potential uplift from the current level, and there could be an opportunity for reconfiguration or further development to increase the potential gross rental income. We would advise interested parties to make their own enquiries with their professional advisers on this matter.

Price

£725,000. We understand VAT is not payable on the purchase price.

Energy Performance Certificate

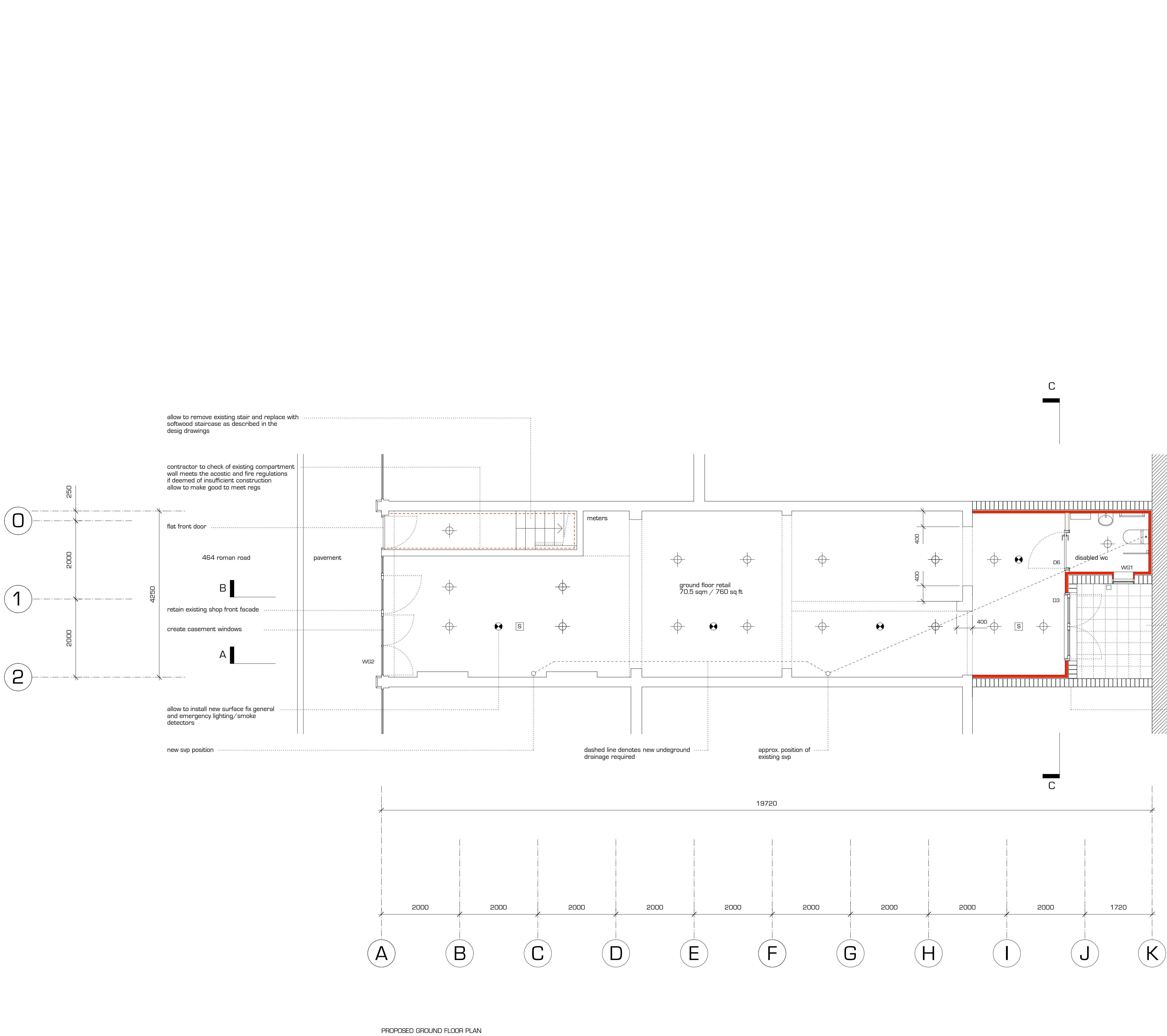
Property graded as B-D (37-60)

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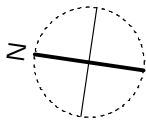


PROPOSED GROUND FLOOR PLAN

- Notes
- all dimensions to be checked onsite
the purpose of this drawing is for BUILDING CONTROL/TENDER PURPOSES ONLY. please direct all enquiries regarding this drawing to gordon-shingley.com
- Key Note to First Floor
- PART A
- Refer to Structural Engineers details
- Part B
- Building is a single staircase building. Top storey is less than 11 metres above ground level.
- One three bedroom flat off a private staircase/corridor
- Compartment floors/ceilings to be 2 layers of 15mm fireline plasterboard to provide 60 minutes fire resistance between units
- Where SVP/RWP's penetrate compartment floor, intumescent pipe collars to be fitted
- Elements of structure to have 30 minute fire resistance
- 30 minute fire rated partition/wall
- FD30s 30 minutes fire door with smoke seals and self closer
- FD30 30 minute fire door with rising butt hinges and self closer
- S Combined smoke detector and sounder mains powered interlinked with battery backup
- H Combined heat detector and sounder mains powered interlinked with battery backup
- Part E
- 100 mm studwork partition wall to comprise 75 mm timber studs with mineral wool insulation minimum 10kg/m3 to void and 12.5 mm plasterboard to both sides with skim finish as Part E wall type B
- New timber first floor construction between flat dwelling and retail spaces below to be:
Natural Timber laminate floor. Underlay, 45mm thk COLLECTA DECKFON QUATPRO insulation T&G floating sandwich panel floor with COLLECTA YELLFON E55/120 polythylene perimeter flanking strips. 200mm deep softwood joists with 50mm thk COLLECTA FIBREFON MICRO SLAB 50 insulation laid between joists. 18mm resilient bar mounted at right angles to joists. 2 x 15mm thk gypsum plasterboard sheets laid with staggered joints and plaster and 2 coat matt emulsion paint finish on primer. Allow a minimum U value of .25 w/m/K. [Floor construction specification subject to approval by an Acoustic Engineer before installation]
- New courtyard external load bearing concrete deck typically to be:
32mm thk hardwood timber decking laid on galvanised battens. natural external oil finish supported off: HARMER UNIRING supports laid on: ALUMASC DERBIGUM insulated warm roof system. allow concrete deck to be finished with wood float, then primed with the appropriate DERBIGUM surface conditioner. Allow a minimum U value of .25 w/m/K.
- New external wall construction typically to be:
2 brick thk loadbearing walls with non-primed lime mortar joints. KINGSPAN K18 62.5mm insulated dry lining board spaced 25 mm off the new 2 brick thk wall with moisture resistant treated timber framing/vertical battens @ 600mm centres. insulation to allow a minimum UValue of 0.35 w/m/K, with plaster and 2 coat matt emulsion paint finish on primer
[Wall construction specification subject to approval by a Thermal Engineer/SAP calculation before installation]
- New extension concrete floor to be:
Minimum 90mm thk. screed layer to match existing finished floor level. VISQUEEN Q02 1200 gauge gas membrane as a VCL on 70mm thk. CELOTEX TUFF-R GA 3070 overslab floor insulation to allow a minimum UValue of 0.25w/m/K on sand binding on two coats of cold applied RIVW liquid asphalt; composition applied directly onto ground bearing institu concrete floor slab.

- PART F
- FLAT 1 to have background ventilation 30,000 m2 via wall air bricks
All bathrooms/VWC's to have local intermittent extract rate of 15L/s
All kitchen areas to have local hobb intermittent extract rate of .30L/s or 60L/s extract within room
- PART K
- Private Internal staircases to have 220 mm rise and 245 mm going
External courtyard balustrade to have minimum 1100mm high guarding. Courtyard balustrade to made from mild steel substructure with hardwood handrail and balustrades
- all stairs to have 50mm wide handrails, set 50mm away from any wall with minimum 100mm gaps between any balustrade uprights
- PART L1B
- KINGSPAN K18 62.5mm insulated dry lining board spaced 25 mm off the new 2 brick thk wall with moisture resistant treated timber framing/vertical battens @ 600mm centres. insulation to allow a minimum UValue of 0.35 w/m/K, with skim finish, with 25 mm insulation to all windows reveals.
- All windows to be timber to comprise an outer pane of 4 mm PILKINGTON OPTIFLOAT, 16 mm argon gas filled cavity and an inner pane of 4 mm PILKINGTON K glass to achieve U value of minimum 2.0 w/m/K
- B Flat to be heated within SEDBUK A rated condensing combi boilers. Thermostat to main living room. TRV's to radiators to all other rooms.
- Refer to drawing for location and number of low energy surface fix light fittings
- Refer to drawing for location and number of all external light fittings
- PART M
- Private stairs 220 mm rise and 245 mm going
- PART P
- Electrical installation to be designed, installed and tested by PART P registered installer
- DOOR KEY /SIZES
- D3: 2040 mm high EXTERNAL painted soft wood painted double glazed patio doors as the Design Drawings
- D6: 926 x 2040 mm INTERNAL painted solid core door and door frame as the Design Drawings
- All cupboard doors jambs as all doors, with varying width of door: paint finish
- WINDOWS/SIZES
- WG1: Painted double glazed softwood fixed window with stainless steel ironmongery as the Design Drawings. Allow for opaque glass
- WG2: Allow to create toughened glazed casement windows in existing facade to match period design
- All glazed panels below 1100mm from finished floor level to be toughened glass

notes
all dimensions to be checked onsite
the purpose of this drawing is for BUILDING CONTROL/TENDER PURPOSES ONLY. please direct all enquiries regarding this drawing to gordon-shingley.com



- Key Note to First Floor
- PART A
Refer to Structural Engineers details
- Part B
Building is a single staircase building. Top storey is less than 1.1 metres above ground level.
One three bedroom flat off a private staircase/corridor
- Compartment floors/ceilings to be 2 layers of 15mm fireline plasterboard to provide 60 minutes fire resistance between units
- Where SVP/RWP's penetrate compartment floor, intumescent pipe collars to be fitted
- Elements of structure to have 30 minute fire resistance
- 30 minute fire rated partition/wall
- FD30s 30 minutes fire door with smoke seals and self closer
- FD30 30 minute fire door with rising butt hinges and self closer
- S Combined smoke detector and sounder mains powered interlinked with battery backup
- H Combined heat detector and sounder mains powered interlinked with battery backup
- Part E
- 100 mm studwork partition wall to comprise 75 mm timber studs with mineral wool insulation minimum 10kg/m3 to void and 12.5 mm plasterboard to both sides with skim finish as Part E wall type B

New timber first floor construction between flat dwelling and retail spaces below to be:
Natural Timber laminate floor. Underlay, 45mm thk COLLECTA DECKFON QUATTRO insulation T&G floating sandwich panel floor with COLLECTA YELLFON ES5/120 polythylene perimeter flanking strips. 200mm deep softwood joists with 50mm thk COLLECTA FIBREFON MICRO SLAB 50 insulation laid between joists. 18mm resilient bar mounted at right angles to joists. 2 x 15mm thk gypsum plasterboard sheets laid with staggered joints and plaster and 2 coat matt emulsion paint finish on primer. (Floor construction specification subject to approval by an Acoustic Engineer before installation)

New courtyard external load bearing concrete deck typically to be:
32mm thk hardwood timber decking laid on tanalised battens. natural external oil finish supported off. HARMER UNIRING supports laid on: ALUMASC DERBIGUM insulated warm roof system. allow concrete deck to be finished with wood float, then primed with the appropriate DERBIGUM surface conditioner. Allow a minimum U value of .26 w/m²/K.

New external wall construction typically to be:
2 brick thk loadbearing walls with non-primed lime mortar joints. KINGSPAN K18 62.5mm insulated dry lining board spaced 25 mm off the new 2 brick thick wall with moisture resistant treated timber framing/vertical battens @ 600mm centres. insulation to allow a minimum U-value of 0.35 w/m²/K, with plaster and 2 coat matt emulsion paint finish on primer. (Wall construction specification subject to approval by a Thermal Engineer/SAP calculation before installation)

PART F
FLAT 1 to have background ventilation 30,000 m2 via wall air bricks
All bathrooms/WCs to have local intermittent extract rate of 15L/s
All kitchen areas to have local hobb intermittent extract rate of 30L/s or 60L/s extract within room

PART K
Private external staircases to have 220 mm rise and 245 mm going
External courtyard balustrade to have minimum 1100mm high guarding. Courtyard balustrade to made from mild steel substructure with hardwood handrail and balustrades

all stairs to have 50mm wide handrails, set 50mm away from any wall with minimum 100mm gaps between any balustrade uprights

PART L1B
KINGSPAN K18 62.5mm insulated dry lining board spaced 25 mm off the new 2 brick thick wall with moisture resistant treated timber framing/vertical battens @ 600mm centres. Insulation to allow a minimum U-Value of 0.35 w/m²/K, with skim finish. with 25 mm insulation to all windows reveals.

All windows to be timber to comprise an outer pane of 4 mm PILKINGTON OPTIFLOAT, 16 mm argon gas filled cavity and an inner pane of 4 mm PILKINGTON K glass to achieve U value of minimum 2.0 w/m²/K

- B Flat to be heated within SEDBUK A rated condensing combi boilers. Thermostat to main living room. TRV's to radiators to all other rooms.
- ⊕ Refer to drawing for location and number of low energy surface fix light fittings
- ⚡ Refer to drawing for location and number of all external light fittings

PART M
Private stairs 220 mm rise and 245 mm going

PART P
Electrical installation to be designed, installed and tested by PART P registered installer

DOOR KEY / SIZES

D1: 826 mm x 2040 mm INTERNAL 30 minute fire resistant painted solid core door and painted softwood door frame as the Design Drawings

D2: 826 mm x 2040 mm EXTERNAL grade softwood door and door-frame with toughened double glazed panel with paint finish as the Design Drawings

All cupboard doors jambs as all doors, with varying width of door: paint finish

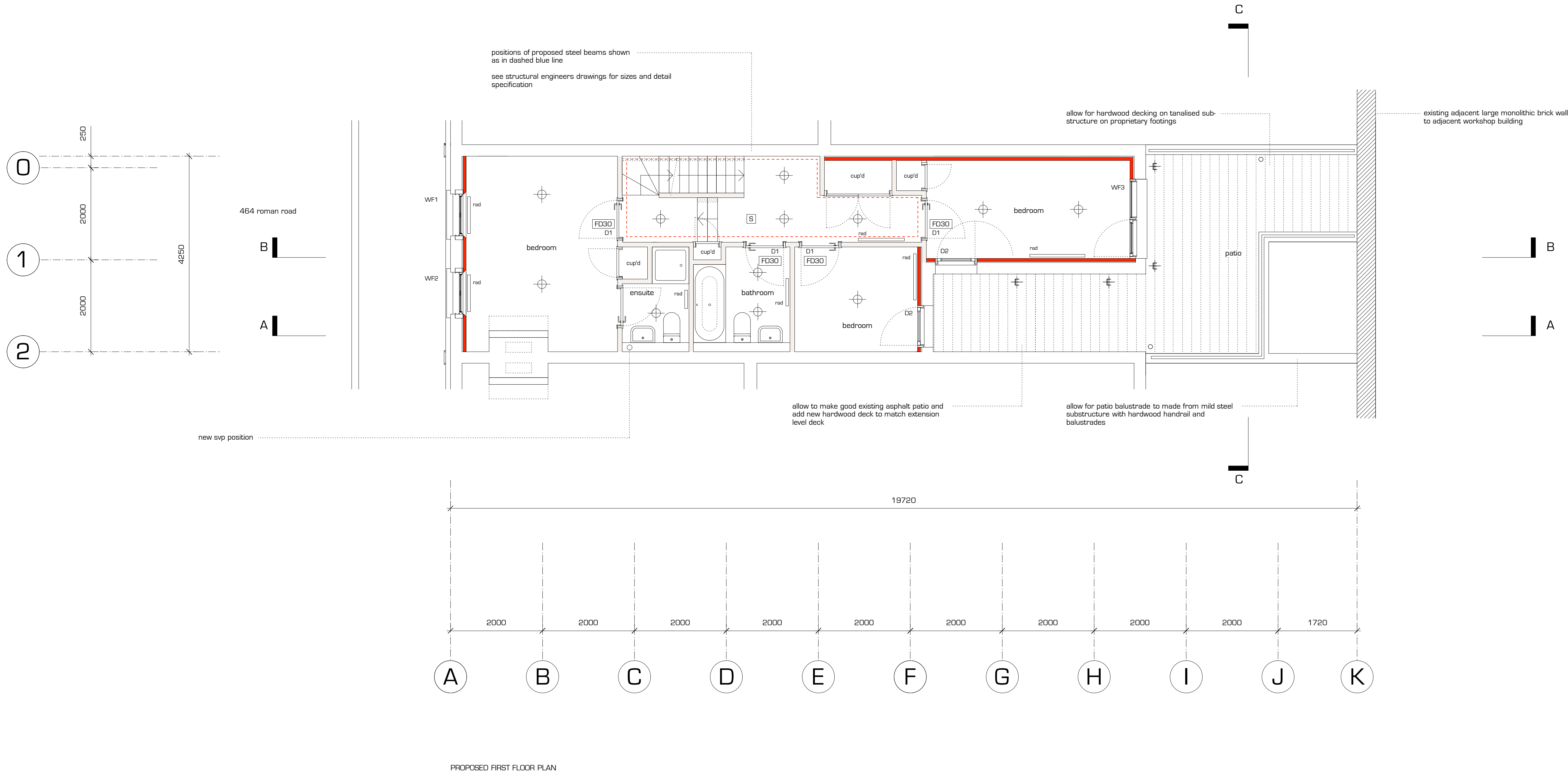
WINDOWS/SIZES

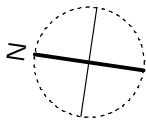
WF1: Painted double glazed softwood traditional sash window with stainless steel ironmongery as the Design Drawings

WF2: Painted double glazed softwood traditional sash window with stainless steel ironmongery as the Design Drawings

WF3: Painted double glazed softwood fixed panel and glazed patio door with stainless steel ironmongery as the Design Drawings

All glazed panels below 1100mm from finished floor level to be toughened glass





Key Note to First Floor

PART A

Refer to Structural Engineers details

Part B

Building is a single staircase building. Top storey is less than 11 metres above ground level.

One three bedroom flat off a private staircase/corridor

Compartment floors/ceilings to be 2 layers of 15mm fireline plasterboard to provide 60 minutes fire resistance between units

Where SVP/RWP's penetrate compartment floor, intumescent pipe collars to be fitted

Elements of structure to have 30 minute fire resistance

----- 30 minute fire rated partition/wall

FD30s 30 minutes fire door with smoke seals and self closer

FD30 30 minute fire door with rising butt hinges and self closer

S Combined smoke detector and sounder mains powered interlinked with battery backup

H Combined heat detector and sounder mains powered interlinked with battery backup

Part E

100 mm studwork partition wall to comprise 75 mm timber studs with mineral wool insulation minimum 10kg/m3 to void and 12.5 mm plasterboard to both sides with skim finish as Part E wall type B

New timber first floor construction between flat internal floor to be.
Proposed steel second and third floors to be constructed from 18 mm T&S waterproof chipboard flooring with 100 mm mineral wool insulation, minimum density 10kg/m3 laid between joists. Finish with 2 layers 12.5 mm plasterboard and skim layer as Part E internal floor type C

PART F

FLAT 1 to have background ventilation 30,000 m2 via wall air bricks
All bathrooms/VWC's to have local intermittent extract rate of 15L/s
All kitchen areas to have local hobb intermittent extract rate of 30L/s or 60L/s extract within room

PART K

Private Internal staircases to have 220 mm rise and 245 mm going
External courtyard balustrade to have minimum 1100mm high guarding. Courtyard balustrade to be made from mild steel substructure with hardwood handrail and balustrades

all stairs to have 50mm wide handrails, set 50mm away from any wall with minimum 100mm gaps between any balustrade uprights

PART L1B

KINGSPAN K18 62.5mm insulated dry lining board spaced 25 mm off the new 2 brick thick wall with moisture resistant treated timber framing/vertical battens @ 600mm centres. Insulation to allow a minimum U-Value of 0.35 w/m2K, with skim finish, with 25 mm insulation to all windows reveals.

All windows to be timber to comprise an outer pane of 4 mm PILKINGTON OPTIFLOAT, 16 mm argon gas filled cavity and an inner pane of 4 mm PILKINGTON K glass to achieve U value of minimum 2.0 w/m2K

B Flat to be heated within SEDBUK A rated condensing combi boilers. Thermostat to main living room. TRV's to radiators to all other rooms.

Refer to drawing for location and number of low energy surface fix light fittings

Refer to drawing for location and number of all external light fittings

PART M

Private stairs 220 mm rise and 245 mm going

PART P

Electrical installation to be designed, installed and tested by PART P registered installer

DOOR KEY/SIZES

D1: 826 mm x 2040 mm INTERNAL, 30 minute fire resistant painted solid core door and painted softwood door frame as the Design Drawings

D2: 826 mm x 2040 mm EXTERNAL, grade softwood door and doorframe with toughened double glazed panel with paint finish as the Design Drawings

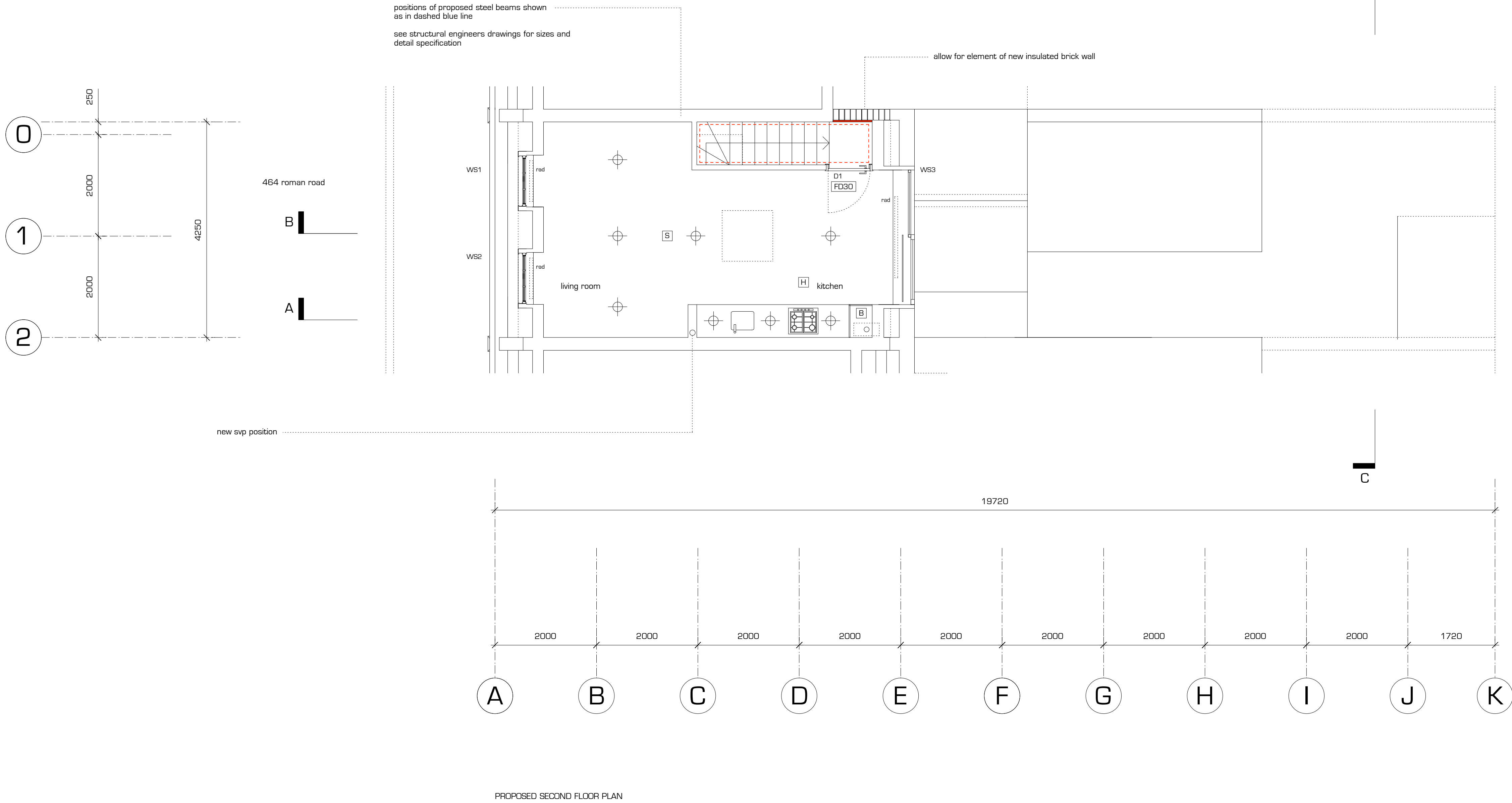
WINDOWS/SIZES

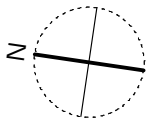
WS1: Painted double glazed softwood traditional sash window with stainless steel ironmongery as the Design Drawings

WS2: Painted double glazed softwood traditional sash window with stainless steel ironmongery as the Design Drawings

WS3: Painted double glazed hardwood sliding and fixed window with stainless steel ironmongery as the Design Drawings. allow for internal mild steel and timber balustrade

All glazed panels below 1100mm from finished floor level to be toughened glass





Key Note to First Floor

PART A

Refer to Structural Engineers details

PART L1B

New pitched mansard roof to comprise WELSH slate tiles, draped sarking felt, ventilated battens, minimum 25mm cavity, 30 mm thk. YELOFOAM X2i over rafters, 30 mm thk. YELOFOAM X2i laid between rafters, finished internally with polythene, minimum 500 gauge vapour control barrier and 1 no 12.5mm plasterboard with skim and paint finish to a achieve a minimum U-Value of 0.25 w/m²/K. OR SIMILAR APPROVED BY THE CA

Allow for bespoke metal angle trimmer detail [as cannon street roof] for the junction between the slate mansard and flat roof

New principle flat roof to comprise bitumen felt dark grey flat roof fixed to 52mm thk COLLECTA XPLY plywood and thermal laminate proprietary sandwich insulation board, laid on structural timber joists with 100mm thk COLLECTA FIBRESLAB laid between joists. Allow for a continious vapour control layer attached to underside of joists with 1 sheet of 12.5mm plasterboard with skim and paint finish to achieve a minimum 0.25 w/m²/K. OR SIMILAR APPROVED BY THE CA

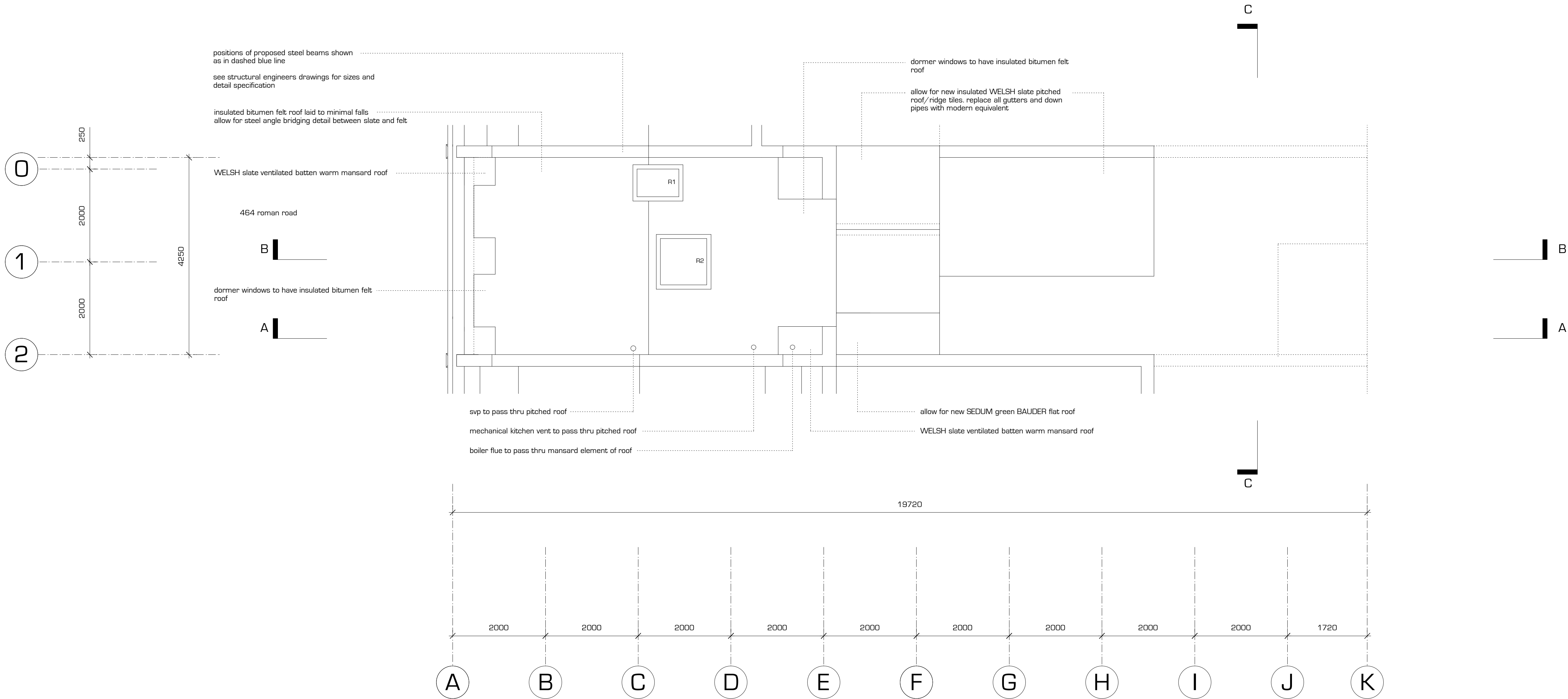
New small flat roof to comprise BAUDER SEDUM GREEN roof constructed from dark grey bitumen felt fixed to fixed to 52mm thk COLLECTA XPLY plywood and thermal laminate proprietary sandwich insulation board, laid on structural timber joists with 100mm thk COLLECTA FIBRESLAB laid between joists. Allow for a continious vapour control layer attached to underside of joists with 1 sheet of 12.5mm plasterboard with skim and paint finish to achieve a minimum 0.25 w/m²/K. OR SIMILAR APPROVED BY THE CA

Rooflights

R1 780 x 1080mm long electrically operated VELUX flat roof window white internal timber finish

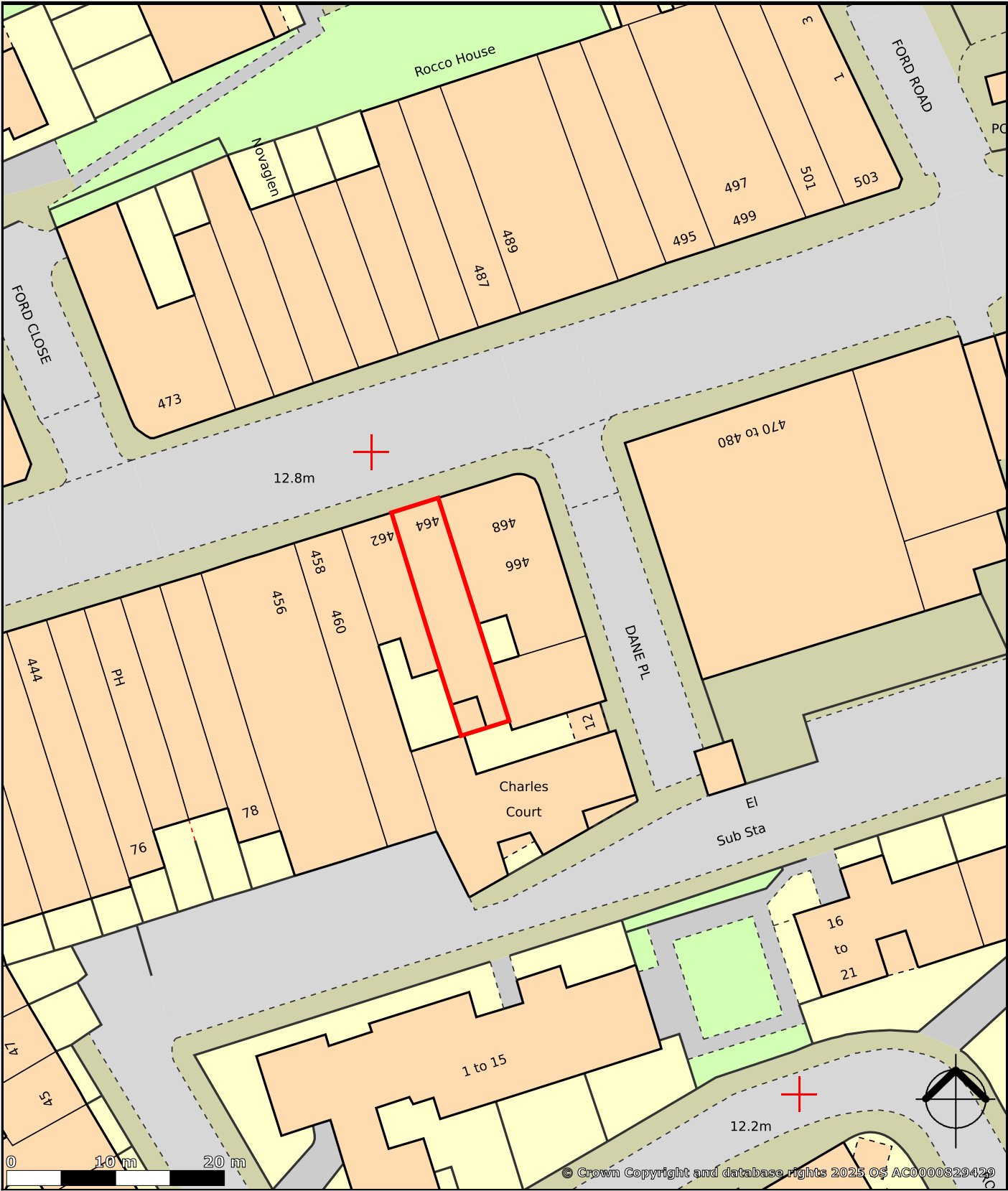
R2 1000 x 1000mm long electrically operated VELUX flat roof window white internal timber finish

All rooflights to be proprietary timber units to comprise an outer toughened pane of 4 mm PILKINGTON OPTIFLOAT, 16 mm argon gas filled cavity and an inner pane of 4 mm PILKINGTON K glass to achieve U value of minimum 2.0 w/m²/K



464 Roman Road

464 Roman Road, London, E3 5LU



created on **edo**zo

Plotted Scale - 1:500

This map is published for convenience of identification only and although believed to be correct, is not guaranteed and it does not form any part of any contract